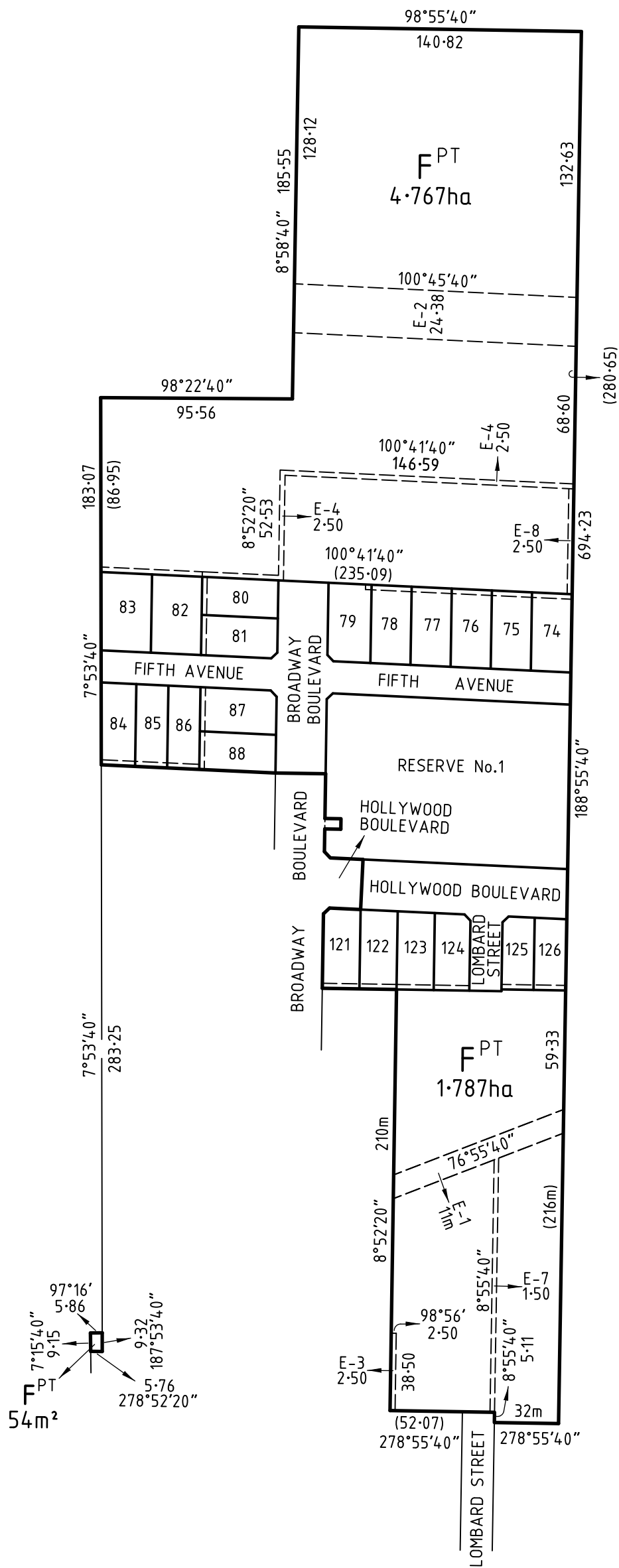
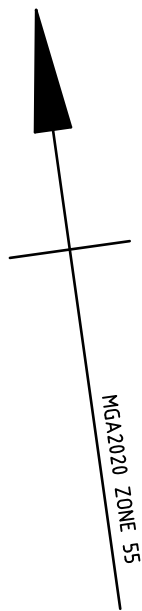
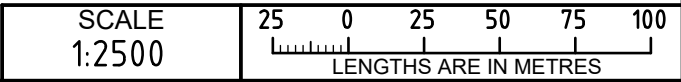


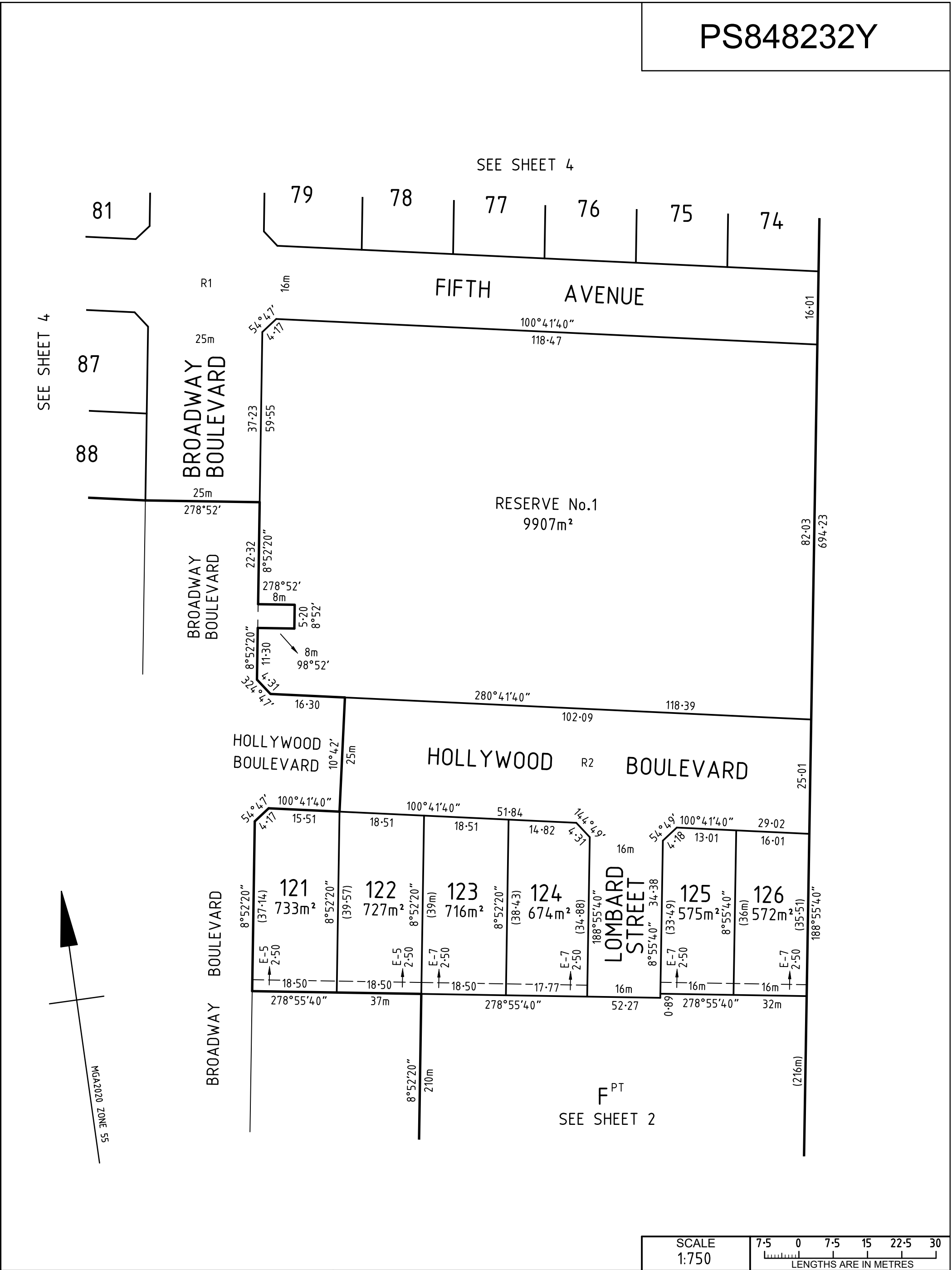
PLAN OF SUBDIVISION				EDITION 1		PS848232Y	
<div>LOCATION OF LAND</div> <div>PARISH: TRARALGON</div> <div>PART OF TRARALGON EAST PRE-EMPTIVE RIGHT SECTION A</div> <div>TITLE REFERENCE: VOL. FOL.</div> <div>LAST PLAN REFERENCE: PS848228P LOT E</div> <div>POSTAL ADDRESS: 110 MARSHALLS ROAD, TRARALGON, 3844. <small>(at time of subdivision)</small></div> <div>MGA CO-ORDINATES E: 460 695 ZONE: 55 <small>(at approx centre of land in plan)</small> N: 5774 605 GDA2020</div>				<div>LATROBE CITY COUNCIL</div>			
VESTING OF ROADS AND/OR RESERVES				NOTATIONS			
IDENTIFIER		COUNCIL/BODY/PERSON		<div>LOTS 1 TO 73 &amp; 89 TO 120 HAVE BEEN OMITTED FROM THIS PLAN LOT F CONTAINS 3 PARTS</div> <div>OTHER PURPOSE OF THIS PLAN REMOVAL OF PART OF EASEMENT E-4 ON PS848228P THAT LIES WITHIN ROAD R1 ON THIS PLAN.</div> <div>GROUND(S) FOR REMOVAL SCHEDULE 5 SECTION 14 OF THE ROAD MANAGEMENT ACT 2004.</div> <div>AREA OF LAND IN THE PLAN: 10.02ha No. OF LOTS &amp; AREA: 21 LOTS - 1.574ha 1 BALANCE LOT - 6.559ha ROADS - 8930m² RESERVE - 9907m²</div>			
ROAD R1 & R2 RESERVE No.1		LATROBE CITY COUNCIL LATROBE CITY COUNCIL					
NOTATIONS							
DEPTH LIMITATION DOES NOT APPLY							
SURVEY: This plan is based on survey in PS826057P							
STAGING This is not a staged subdivision.							
Planning Permit No. 2016/197							
This survey has been connected to permanent marks No(s).							
In Proclaimed Survey Area No. ---							
EASEMENT INFORMATION							
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)							
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of			
E-1	POWER LINE	11	PS329021J - SECTION 103B OF THE SEC ACT 1958	SECV			
E-2	PIPELINE PURPOSES	24.38	C/E D285661	VOL.8718 FOLs.882 to 889, VOL.5992 FOL.297, VOL.8727 FOL.448			
E-3	PIPELINE OR ANCILLARY PURPOSES	2.50	PS826057P - SECTION 136 OF THE WATER ACT 1989	CENTRAL GIPPSLAND REGION WATER CORPORATION			
E-4	PIPELINE OR ANCILLARY PURPOSES	2.50	PS826066N - SECTION 136 OF THE WATER ACT 1989	CENTRAL GIPPSLAND REGION WATER CORPORATION			
E-5	PIPELINE OR ANCILLARY PURPOSES	2.50	PS826072T - SECTION 136 OF THE WATER ACT 1989	CENTRAL GIPPSLAND REGION WATER CORPORATION			
E-6	PIPELINE OR ANCILLARY PURPOSES	2.50	PS848228P - SECTION 136 OF THE WATER ACT 1989	CENTRAL GIPPSLAND REGION WATER CORPORATION			
E-7	POWER LINE	1.50	PS848228P - SECTION 88 OF THE ELECTRICITY INDUSTRY ACT 2000	AUSNET ELECTRICITY SERVICES PTY LTD			
E-8	PIPELINE OR ANCILLARY PURPOSES	2.50	THIS PLAN - SECTION 136 OF THE WATER ACT 1989	CENTRAL GIPPSLAND REGION WATER CORPORATION			
<div>Millar   Merrigan</div> <div>Land Development Consultants</div> <div>M(03) 8720 9500 R (03) 5134 8611 www.millarmerrigan.com.au survey@millarmerrigan.com.au SAI GLOBAL Quality ISO 9001</div>			SURVEYOR'S REF: 18733S6E 19/2/2021		ORIGINAL SHEET SIZE: A3		SHEET 1 OF 4
<div>LICENSED SURVEYOR</div> <div>G. J. LADNER</div> <div>VERSION NO. 3</div> <div>This is not a digitally signed plan.</div>							



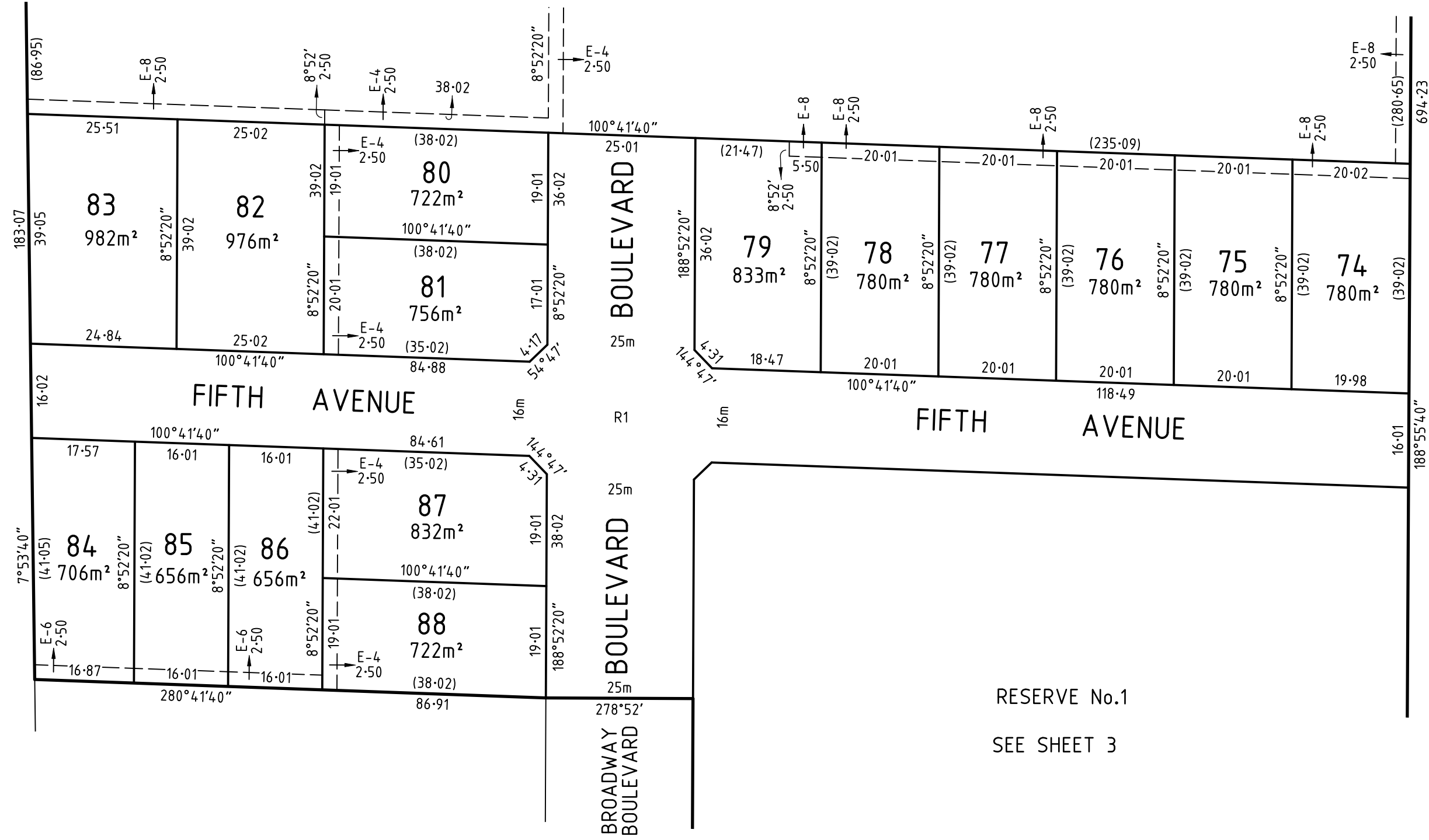
SEE SHEETS 3 & 4 FOR  
DETAILS NOT SHOWN HEREON



<div>Millar   Merrigan</div> <div>Land Development Consultants</div> <div>M(03) 8720 9500 R (03) 5134 8611</div> <div>www.millarmerrigan.com.au</div> <div>survey@millarmerrigan.com.au</div> <div>SAI GLOBAL Quality ISO 9001</div>	SURVEYOR'S REF:18733S6E 19/2/2021		ORIGINAL SHEET SIZE: A3
	LICENSED SURVEYOR G. J. LADNER This is not a digitally signed plan.		SHEET 2



F<sup>PT</sup>  
SEE SHEET 2



Millar | Merrigan

Land Development Consultants  
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SURVEYOR'S REF: 18733S6E 19/2/2021

LICENSED SURVEYOR  
G. J. LADNER  
VERSION NO.3  
This is not a digitally signed plan.

SCALE  
1:750  
7.5 0 7.5 15 22.5 30  
LENGTHS ARE IN METRES

ORIGINAL SHEET  
SIZE: A3  
SHEET 4