

PROJECT: LOT 248 BOSTON BOULEVARD, TRARALGON
CLIENT: VIRTUE HOMES
 LOT 248 BOSTON BOULEVARD TRARALGON VIC 3844

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DRAWING TITLE:
 FACADE OPTIONS - PAGE ONE

REVISION NUMBER:
 'P-1'

DRAWN BY: S. GAUDIANO

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DATE: 23/07/2019

SCALE: AS NOTED @ A3

Domestic Builder -
 Unlimited No: 23132

Master Builders Association
 No: 88875

ABN: 78 107 165 588

PROJECT NUMBER:
 19118

DRAWING NUMBER:
 A1

BUILDERS SIGNATURE

CLIENT SIGNATURE:

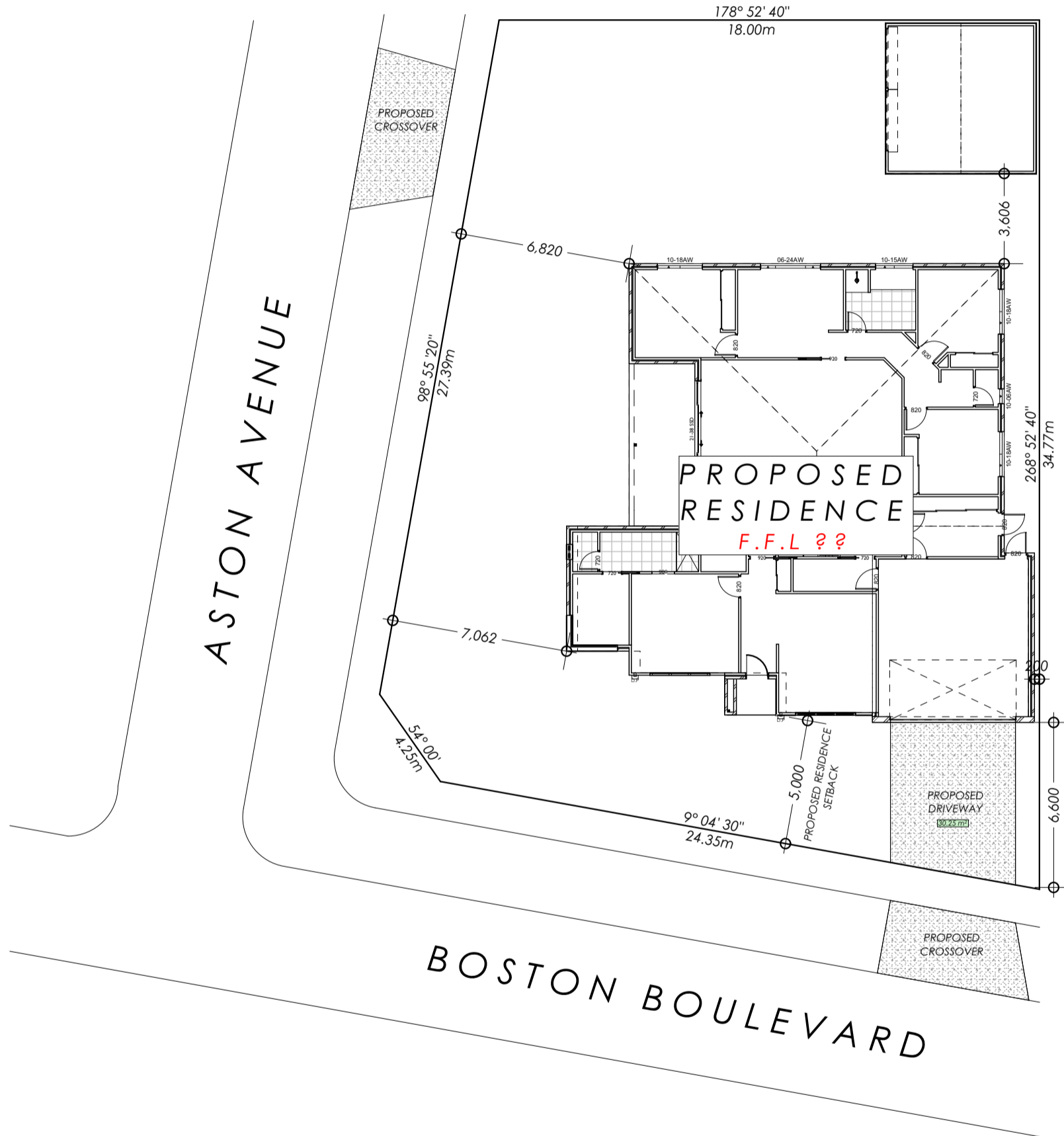
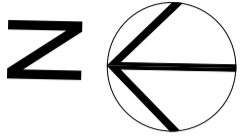


BUILDING REGULATION PART 4- REFER TO SITE PLAN FOR DETAILS

408/9	STREET SETBACK	PROPOSED FRONT SETBACK 6.0m (AVERAGE OF THE TWO NEIGHBOURING PROPERTIES)	416	DAYLIGHT TO EXIST HAB. WINDOWS	UNAFFECTED
410	BUILDING HEIGHT	5.30m	417	EXISTING NORTH FACING WINDOWS	UNAFFECTED
411	SITE COVERAGE	SITE AREA = 738m ² BUILT AREA = 274.22m ² 37.16%	418	OVERSHADOWING	UNAFFECTED
412	PERMEABLE AREA	62.84%	419	OVERLOOKING	UNAFFECTED
413	CARPARKING	2 - GARAGE SPACES & 2 ONSITE VISITOR SPACES	420	DAYLIGHT TO NEW WINDOWS	ALL NORTH FACING WINDOWS ARE UNAFFECTED
414	SIDE & REAR SETBACKS	NONE	421	PRIVATE OPEN SPACE	GREATER THAN 80 m ² MIN REQUIRED
415	WALLS ALONG BOUNDARIES	NONE			

BUSHFIRE PRONE AREA - BAL LOW

THIS SITE IS NOT IN A DESIGNATED BUSHFIRE PRONE ZONE THEREFORE NO MANDATORY CONSTRUCTION REQUIREMENTS APPLY IN RELATION TO BUSHFIRE PROTECTION.



SITE PLAN

1:200

NOTE:
ALL EASEMENTS & BOUNDARY DETAILS TO BE CONFIRMED WITH COPY OF TITLE PRIOR TO COMMENCING CONSTRUCTION.

NOTE :
PRIOR TO STARTING SETOUT FOR CONSTRUCTION CHECK FOR SERVICES WHICH MAY OBSTRUCT DRIVEWAY IF SERVICES ARE GOING TO AFFECT THE RESIDENCE PLEASE CONTACT THE VIRTUE HOMES OFFICE FOR RECTIFICATION.

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DRAWING NUMBER:
A4

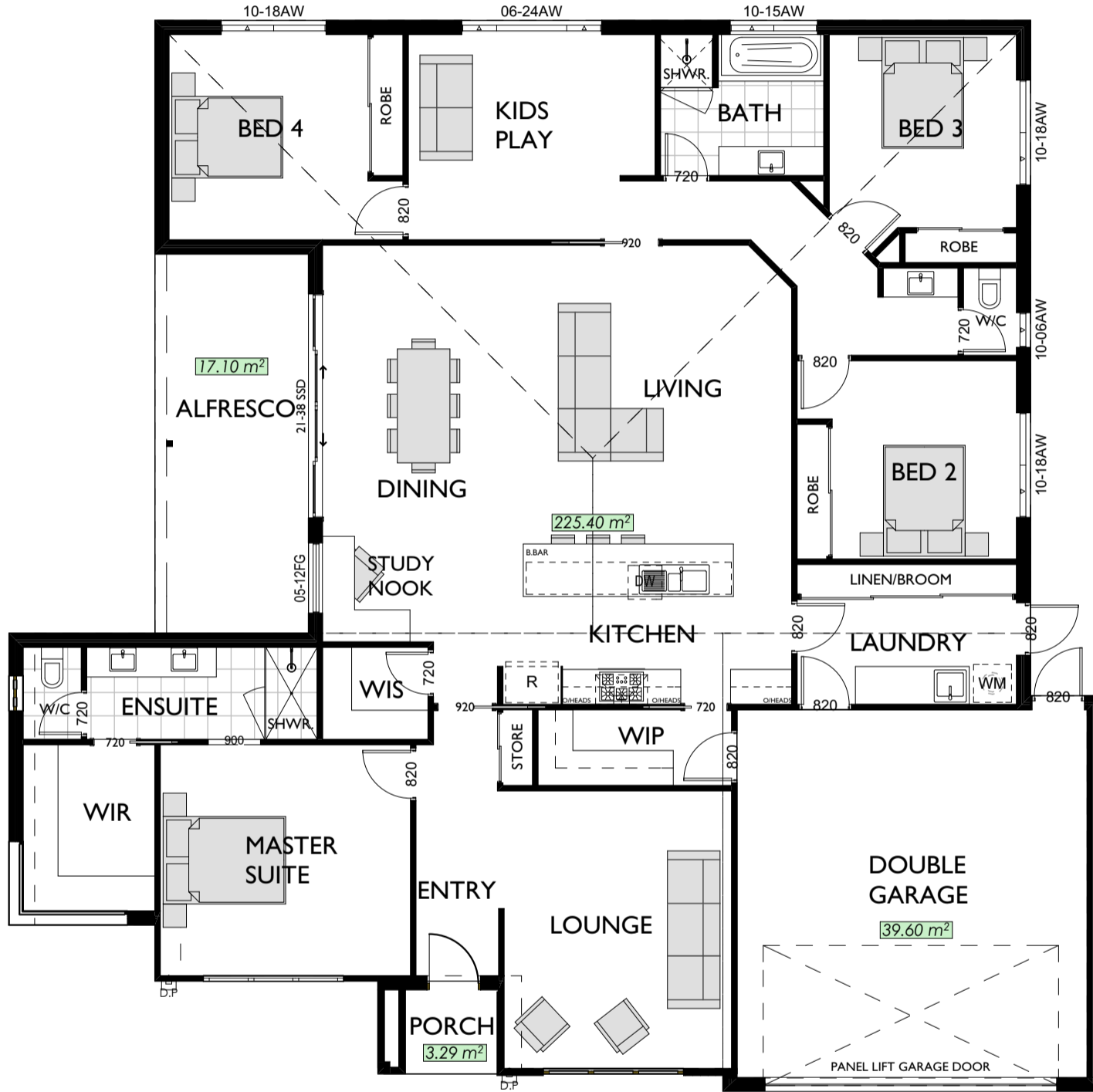
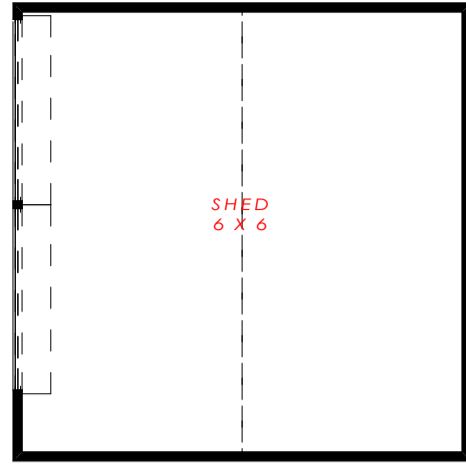
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BUILDERS SIGNATURE: _____

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FLOOR PLAN

1:100

Area Summary

Zone	m2	Sqr
Living Area	225.4	24.26
Garage Area	39.60	4.26
Alfresco Area	17.1	1.84
Porch Area	3.29	0.35
Total Area	285.39	30.72

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DRAWING TITLE: FLOOR PLAN	REVISION NUMBER: 'P-1'	PROJECT NUMBER: 19118	DRAWING NUMBER: A5
DRAWN BY: S. GAUDIANO DATE: 23/07/2019 SCALE: AS NOTED @ A3	Virtue Homes Pty. Ltd. P.O. BOX 1589 Traralgon VIC 3844 Mobile: 0422 315 383 Phone: (03) 5176 5997 Email: mick@virtuehomes.com.au Web: www.virtuehomes.com.au	Domestic Builder - Unlimited No: 23132 Master Builders Association No: 88875 ABN: 78 107 165 588	

