



### ENERGY RATING REQUIREMENTS

REFER TO FIRSTRATE5 ENERGY RATING FOR FURTHER DETAILS

**GENERAL**  
 ALL EXTERNAL DOORS TO BE SEALED  
 ALL DOORS TO UNCONDITIONED ROOMS TO BE WEATHER STRIPED  
 ALL EXHAUST FANS TO BE SEALED  
 ALL CONSTRUCTION GAPS & CRACKS TO BE SEALED

**ROOF / CEILING**  
 SHEET ROOF, FOIL SARKING OVER RAFTERS  
 R3.5 BULK INSULATION BETWEEN CEILING JOISTS

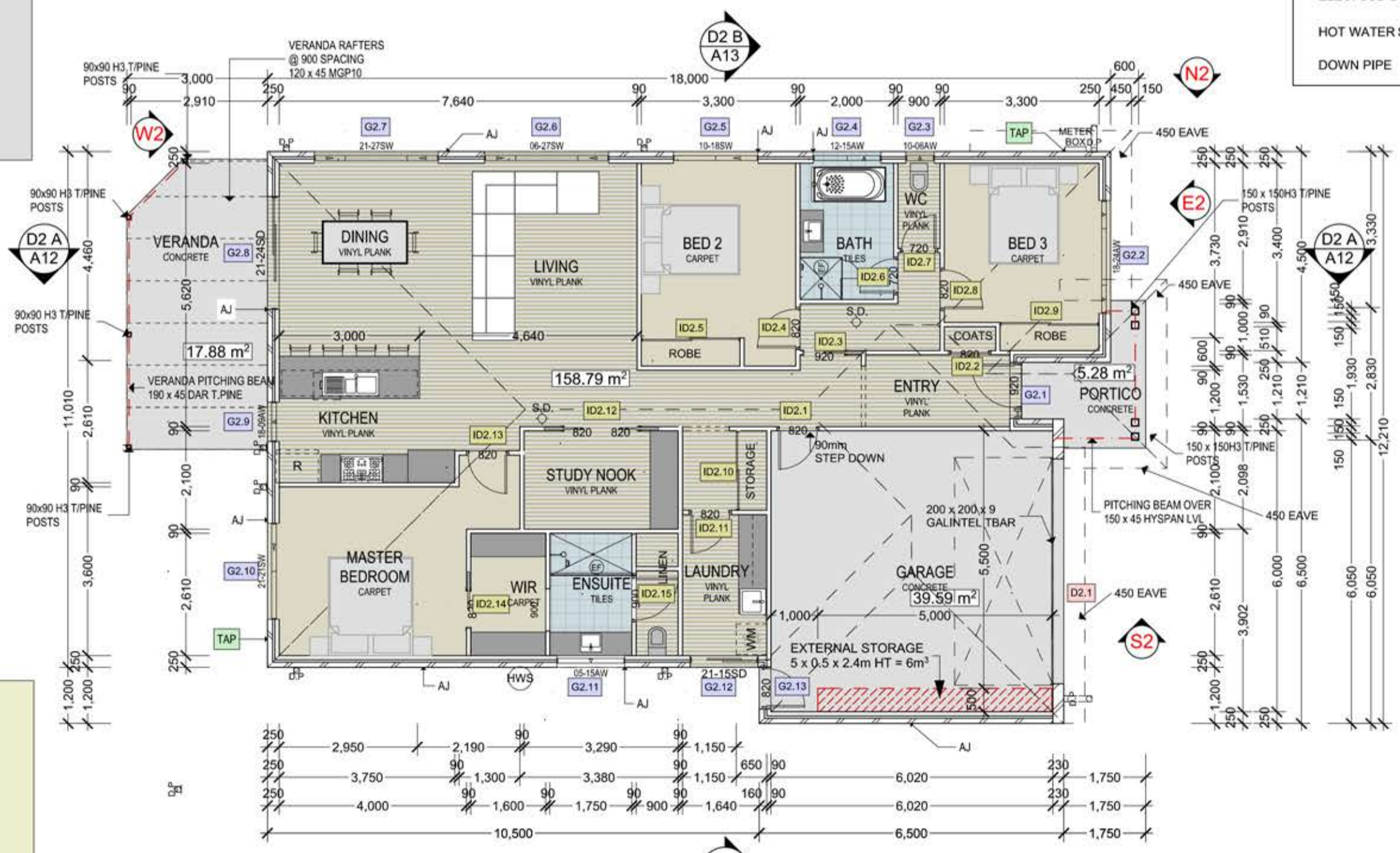
**WINDOWS**  
 ALUMINIUM IMPROVED FRAME AND SINGLE GLAZING  
 WITH U VALUE AND SHGF AS PER GLAZING SCHEDULE

**EXTERNAL WALLS**  
 DOUBLE SIDED VAPOUR PERMEABLE REFLECTIVE FOIL  
 FIXED TO EXTERNAL FACE OF STUDS,  
 R2.0 BATTS BETWEEN STUDS, LINED INTERNALLY

**FLOOR**  
 CONCRETE RAFT SLAB ON GROUND

### LEGEND

230 DOUBLE BRICK	
250 BRICK VENEER	
110 SINGLE BRICK	
90 TIMBER STUD	
SMOKE DETECTOR	
EXHAUST FAN	
ARTICULATION JOINT	
ELEC. SUB-BOARD	
HOT WATER SYSTEM	
DOWN PIPE	



### Dwelling 2 Area Summary

Zone	m2	Sqr
Living Area	158.79	17.09
Garage Area	39.59	4.26
Alfresco Area	17.88	1.92
Portico Area	5.28	0.57
<b>Total Area</b>	<b>221.54</b>	<b>23.84</b>

D2 FLOOR PLAN 1:100



PROJECT: PROPOSED MULTI-RESIDENTIAL DEVELOPMENT		REVISION NUMBER:
CLIENT: ALLURE LIFESTYLE GROUP		01/03/19
LOT A P.S. 722083- MCNULTY DRIVE TRARALGON VIC 3844		PROJECT NUMBER:
DRAWING TITLE: DWELLING 2 - FLOOR PLAN		L1847
DRAWN BY: S.MCLEMENTS	BUILDERS SIGNATURE:	CLIENT SIGNATURE:
DATE: 10/3/2019		
SCALE: AS NOTED @ A1		DRAWING NUMBER:
		A10

D.P. AD31825  
 ABN: 88 143 364 096  
 OFFICE: 407 GREY STREET, TRARALGON  
 POSTAL: P.O. Box 1561 TRARALGON 3844  
 PHONE: (03) 5174 0000  
 MOB: 0412 841 064